



Design Review Board Staff Report

TO: DESIGN REVIEW BOARD

FROM: NATHAN WILLIAMS, AICP, PLANNER II *NW*
(480) 503-6805, NATHAN.WILLIAMS@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *chl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: SEPTEMBER 11, 2014

SUBJECT: DR14-19, LIGHT OF CHRIST LUTHERAN CHURCH.

STRATEGIC INITIATIVE: Community Livability

The proposal will allow for a Place of Worship development in the Neighborhood Commercial (NC) and Single Family – 7 (SF-7) zoning district.

REQUEST

DR14-19: Light of Christ Lutheran Church: site plan, landscape plan, grading and drainage, elevations, lighting, colors and materials for approximately 6.5 acres located at the northeast corner of Greenfield Road and Chandler Heights Road, zoned Neighborhood Commercial (NC) and Single Family 7 (SF-7) zoning district.

RECOMMENDED MOTION

Move to approve the Findings of Fact and approve DR14-19: Light of Christ Lutheran Church: site plan, landscape plan, grading and drainage, elevations, lighting, signage, colors and materials for approximately 6.5 acres located at the northeast corner of Greenfield Road and Chandler Heights Road, zoned Neighborhood Commercial (NC) and Single Family 7 (SF-7) zoning district, subject to conditions.

APPLICANT/OWNER

Company: XCL Engineering LLC
Name: Omar Cervantes
Address: 3115 S. Price Rd. #1221
Chandler, AZ
Phone: 602-790-2267
Email: ocervantes@xclengineering.com

Company: Light of Christ Church
Name: Don Tolle
Address: 397 S. Gilbert Rd. #160
Phone: N/A
Email: dontolle@cox.net

BACKGROUND/DISCUSSION

History:

Date Action
April 18, 2006 Town Council adopted Ordinance No. 1320 (A00-08), annexing in part, the 6.5 acre subject site into the Town of Gilbert.

Overview:

The subject site consists of 6.5 acres located at the northeast corner of Greenfield Road and Chandler Heights Road. The subject site is currently undeveloped with the northern half zoned SF-7 and the southern half zoned NC. A Place of Worship is permitted in both zoning districts. The proposed project would be developed with new construction for approximately a 15,829 sq. ft. "Place of Worship" with the potential for future expansion of the facility. Currently proposed will be one building, one story in height located on the central portion of the subject site.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Category	Existing Zoning
North	Residential > 2-3.5 DU/Acre	Single Family – 7 (SF-7)
South	Public Facility / Institutional (PF/I)	Public Facility / Institutional (PF/I)
East	Public Facility / Institutional (PF/I)	Public Facility / Institutional (PF/I)/ U/TC
West	Residential > 0-1 DU/Acre	Single Family – 43 (SF-43) and Maricopa County Rural 43
Site	Neighborhood Commercial (NC) and Residential > 2-3.5 DU/Acre	Neighborhood Commercial (NC) and Single Family – 7 (SF-7)

Project Data Table:

Gross Site Acreage	6.5 acres
Existing Zoning	Neighborhood Commercial (NC) and Single Family – 7 (SF-7)
Size of Use or User	Under 25,000 sq. ft.
Building Setback - Front Required/ Provided	20'/ 90'
Building Setback – Side Residential Required/ Provided	20'/ 100'+

Building Setback – Rear to Non-Residential Required/ Provided	20’/ 41’
Building Height Required/ Proposed	30’/ 30’ (1-story)
Landscape Area (% of net lot area) Required/ Proposed	15%/ 79% (205,800 sq. ft.)
Parking Requirements: Church/ Assembly Area (1/ 100 sq. ft.) – 6,134 sq. ft. Other Indoor Area (1/ 200 sq. ft.) – 9,695 sq. ft.	61 spaces required <u>48 spaces required</u> 109 spaces required (total) 112 spaces provided (total)

DISCUSSION

Site

The Light of Christ Lutheran Church facility will consist of one (1) building 15,829 sq. ft. in area, on the center portion of the site, which will include assembly and non-assembly areas. The main entry to the church will be along the southern building elevation with a significant entry courtyard including 2,000 sq. ft. of shade structures and drop-off area. The church is planning to develop the site at this time in one phase with room for future expansion. A total user sq. ft. of less than 25,000 sq. ft. is anticipated for the site.

Ingress/ egress to the 6.5 acre site will be from two access points, both on Greenfield Road. The access points proposed are on the northwestern and southwestern portions of the property. Traffic will circulate vehicles north-south across the site. The subject site is a uniquely, pie shaped parcel with retention and landscaping located on the north and south portions. The RWCD canal is located directly adjacent (east) to the subject site. The applicant will be providing a 10’ wide stabilized decomposed granite trail along the RWCD canal and the eastern property boundary.

Parking will be located on the front (west) and central portion of the site in close proximity to the front entry of the building. There will be a significant amount of outdoor open space predominately located on the north and south portions of the site.

Landscape

The landscape plan provides adequate amounts of perimeter landscaping on all four sides of the overall site as well as foundation landscaping around the south and west sides of the building and along Greenfield Road. Landscape islands are provided at a minimum of one for every 8 spaces. Landscaped open space turf areas are shown along the rear (north) and east (side) of the church building. The site will provide a total amount of 79% landscape area provided where 15% is required. Landscaping is reasonable in these areas to screen the church facilities from direct views from the property boundaries and provide shade as well as interest to the site. An outdoor courtyard area is provided on the southern building elevation as well as the north side of the building adjacent to the playground area. Retention areas are provided on the northern and southern portions of the subject site.

Landscaping materials such as trees include Chinese Pistachio, Sissoo, Desert Museum Palo Verde, and Heritage Evergreen Oak. The proposed landscape plan complies with the requirements of the Town.

Elevations

The building elevations contain a well-matched use of materials and colors with a combination of stucco, CMU block as the base building material with metal accent materials. Colors for the building elevations will include Dunn Edwards “Almond Latte”, “Graham Cracker” and “Weather Brown” with integrally colored CMU block colored “Autumn” and “Burnt Umber” and metal soffit. Additionally the proposed shade canopies will be “Terracotta”. The proposed church building will be 1-story in height and 30’ high and is well designed with excellent use of massing, different roof lines and various heights with a good use of colors and materials to break up the building architecture and articulate the building effectively.

Grading and Drainage

The site will employ existing on-site retention basins on the northern and southern portions of the site in the turf area as well on the side and rear of the site. The proposed grading and drainage plan for the site meets the development requirements for the Town of Gilbert’s Engineering Department.

Signage

Signage for the site includes two proposed monument signs that will be located on the front portion of the site at the two access points. Monument signage will comply with the requirements of the LDC and include a maximum sign area of 32 sq. ft. The proposed signage will be a Corten metal panel with cutout letters with illuminated lettering, mounted on a CMU block base painted to match the proposed building and will be 8’ in height.

Lighting

The photometric plans proposed appear to comply with the LDC requirements of a maximum of 0.3 foot-candles at the property line, not including street lighting and include both pole-mounted lighting and wall lighting. All site lighting will be required to comply with Town codes.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205. Staff has received no comments from the neighboring property owners at the time this report was written.

STAFF RECOMMENDATION

Approval of the findings of fact and approval of DR14-19: Light of Christ Lutheran Church: site plan, landscape plan, grading and drainage, elevations, lighting, signage, colors and materials for approximately 6.5 acres located at the northeast corner of Greenfield Road and Chandler Heights Road, zoned Neighborhood Commercial (NC) and Single Family 7 (SF-7) zoning district, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Design Review Board at the September 11, 2014 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.

Respectfully submitted,



Nathan Williams
Planner II

Attachments:

1. Notice of Public Hearing Map
2. Aerial
3. Site Plan
4. Site Details
5. Landscape Plan
6. Elevations (2 pages)
7. Floorplans
8. Preliminary Grading and Drainage Plan (3 pages)
9. Color Board
10. Lighting Plans (3 pages)

FINDINGS OF FACT

DR14-19 – Light of Christ Lutheran Church, Located at the northeast corner of Greenfield Road and Chandler Heights Road

1. The project is consistent with the Commercial Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby residential development; and
5. The project design provides for safe and efficient provision of public services.

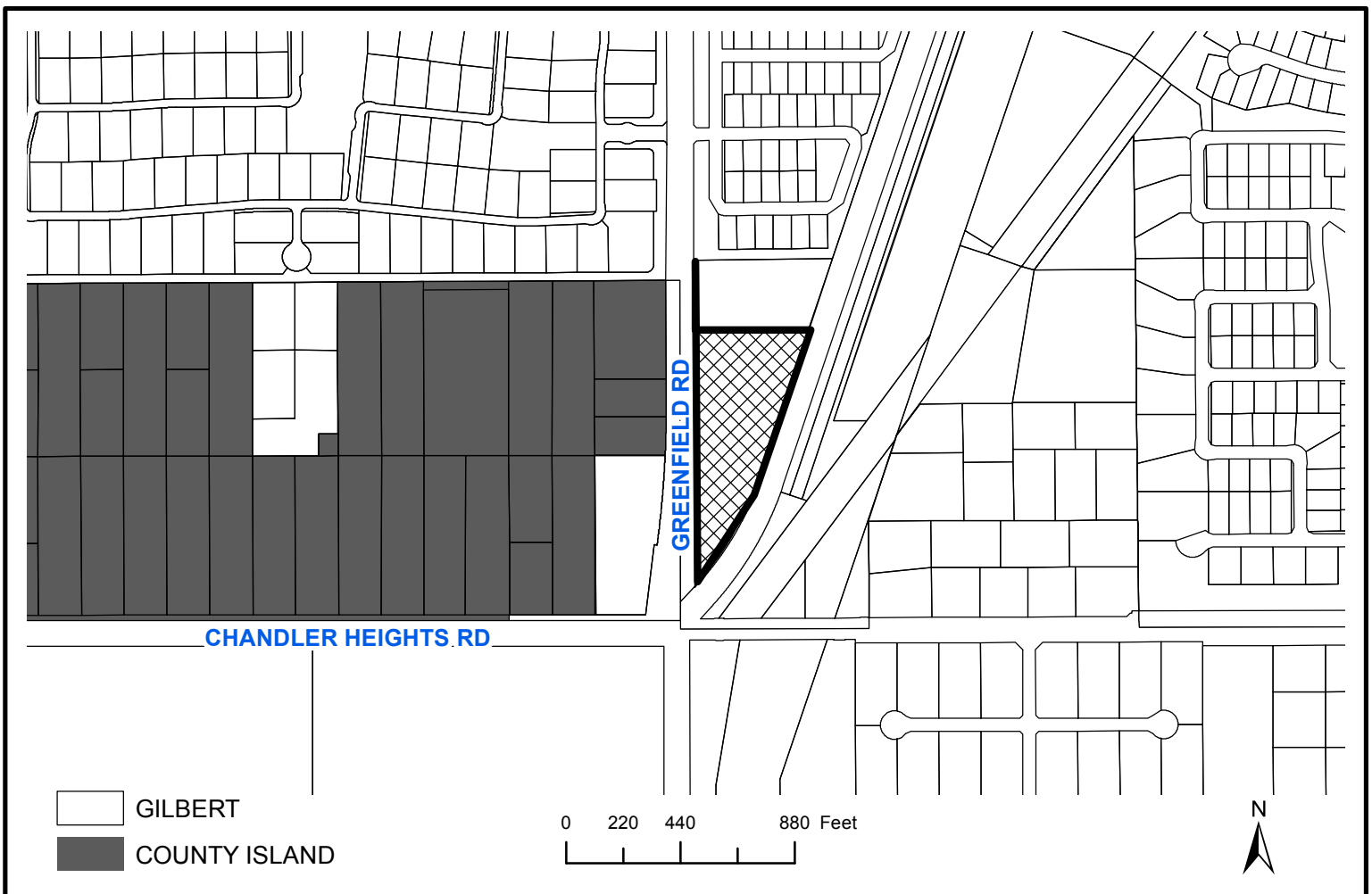
September 11, 2014

Notice of Public Hearing

DESIGN REVIEW BOARD DATE:**Thursday, September 11, 2014* TIME: 5:30 PM****LOCATION: Gilbert Municipal Center, Room 300****50 E. Civic Center Drive***** Call Planning Department to verify date and time: (480) 503-6700****REQUESTED ACTION:**

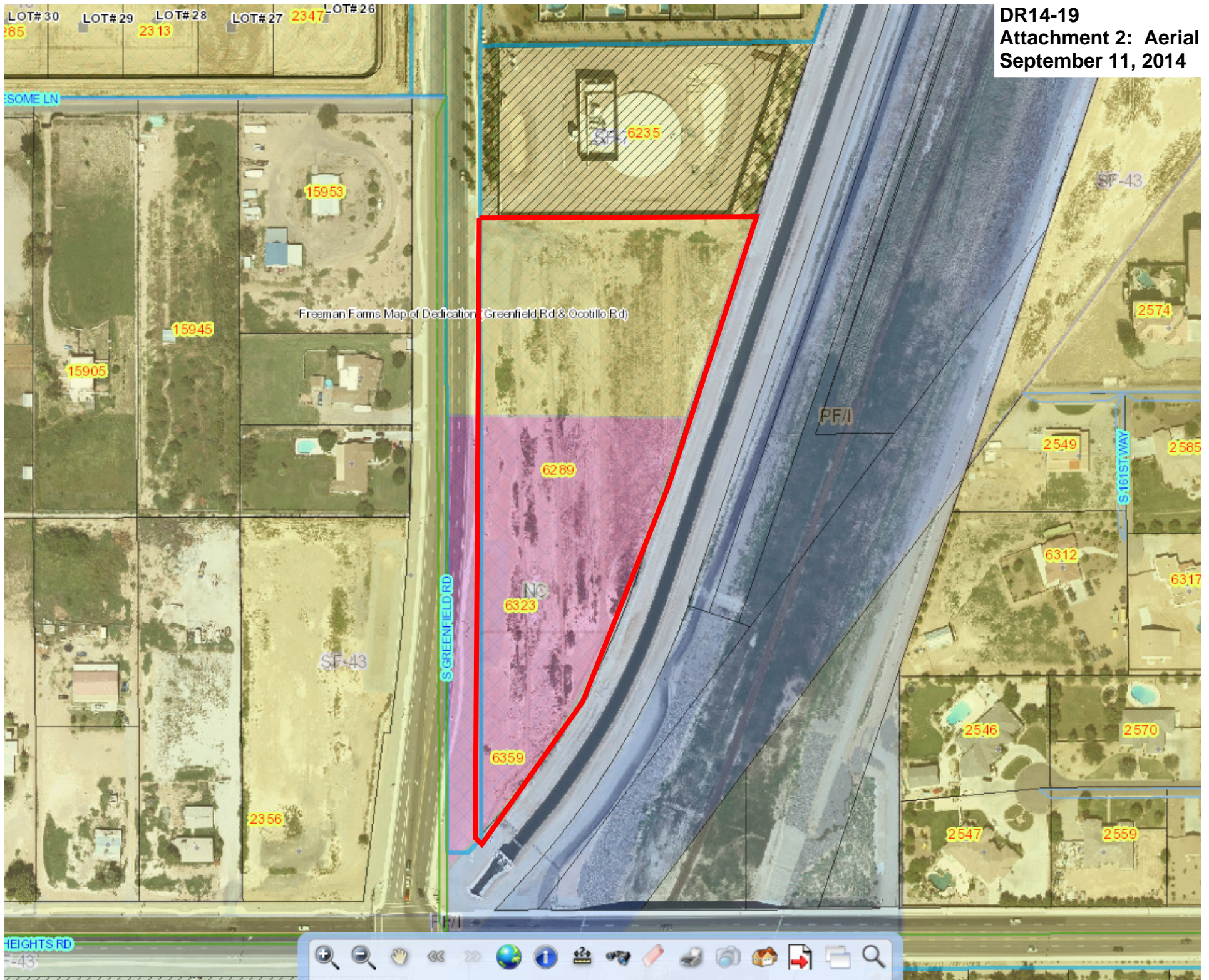
DR14-19: Light of Christ Lutheran Church: Approval of site plan, landscape plan, grading and drainage, elevations, lighting, colors and materials for Light of Christ Lutheran Church, located on approximately 6.5 acres at the northeast corner of Greenfield Road and Chandler Heights Road, zoned Neighborhood Commercial (NC) and Single Family 7 (SF-7) zoning district.

* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <http://www.gilbertaz.gov/departments/development-services/planning-development/design-review-board>

SITE LOCATION:

APPLICANT: XCL Engineering LLC
CONTACT: Omar Cervantes
ADDRESS: 3115 S. Price Rd Ste 121
Chandler, AZ

TELEPHONE: (602) 790-2267
E-MAIL: ocervantes@xclengineering.com



Standard Commercial and Industrial Site Plan Notes March 11, 2004

1. All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated under ground.
2. All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
3. All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - a. Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
 - b. Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
 - c. An alternative screening method approved by the Planning Department prior to issuance of any permits.
5. The location of all electrical utility equipment shall be identified on the construction plans.
6. Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - a. The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
 - b. By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
7. Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
8. Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.

9. Pneumatic tubes, whether metal or plastic, shall be either:
 - a. Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
 - b. Routed under ground.
10. All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
11. All freestanding light poles shall:
 - a. Be located within landscaped areas or planter islands.
 - b. Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade.
 - c. Be located to avoid conflict with trees.
12. Site lighting shall comply with the light and glare criteria set forth in Section 11.22.A of the ULDC, including a maximum freestanding light fixture height of 25'. The maximum height of a building mounted light fixture is 14'. The maximum height of a freestanding light fixture located within 100' of a residential zoning district or property designated for residential development in the General Plan is 14'.
13. Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.
14. Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
15. Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boamanite, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
16. Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
17. All exterior metal shall be finished or painted to match the approved project colors.
18. Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

PROJECT DATA

PROJECT NAME: LIGHT OF CHRIST CHURCH
PROJECT ADDRESS: N.E.C. SOUTH GREENFIELD & CHANDLER HEIGHTS RD
PROPOSED USE: CHURCH
PROJECT OWNER: FIRST UNITED FUNDING LLC
6289 SOUTH GREENFIELD RD, GILBERT AZ.
ARCHITECT: GILLIAM ARCHITECTURE
CONTACT: RANDY J. GILLIAM
480.236.1228
rgilliam@gilliamarchitecture.com

SITE DATA

APN: 304-77-007G
LEGAL: Section/Lot 22 Township/Block 2S Range/Tract 6E
THAT PT SW4 SEC 22 LY W OF RWCD CANAL & DAF COM
SITE GROSS AREA: 6.5 AC
SITE NET AREA: 5.96 AC
BUILDING: ASSEMBLY: 6,134 SF
OTHER: 9,695 SF
PARKING: ASSEMBLY: 6,134/100 = 61 SPACES
OTHER: 9,695/200 = 48 SPACES
TOTAL REQ'D: 109 SPACES
SPACES PROVIDED: 112 SPACES
5 ADA PARKING SPACES
FUTURE PARKING: CHURCH USE / ASSEMBLY 2,100 / 100 = 21
CHURCH USE / CLASSROOMS 7,000 / 200 = 35
REQUIRED (ESTIMATED BASE ON TYP. CHURCH USE = 56
FUTURE PROVIDED 60+
BIKE PARKING: REQ'D 1/10 PARKING SPACES
PROVIDED: 11 SPACES
LANDSCAPE PROVIDED: REFER TO LANDSCAPE PLAN

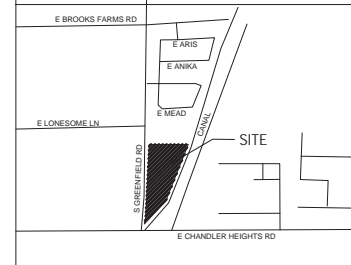
SITE PLAN KEYED NOTES:

1. LANDSCAPED RETENTION AREA
2. 6" CONCRETE CURB
3. CONCRETE SIDEWALK, LIGHT BROOM FINISH
4. 6" HIGH CMU TRASH ENCLOSURE PER T.O.G. STANDARD DETAIL #80.
5. ADA PEDESTRIAN RAMP
6. CONCRETE PAVERS
7. ADA PARKING SPACE
8. FABRIC CANOPY
9. ASPHALT PARKING LOT
10. PARKING LOT SITE LIGHT (14'H WITHIN 100' OF RESIDENTIAL ZONING AS INDICATED)
11. BIKE RACK (11 BIKES)
12. 6' HIGH MASONRY SCREEN WALL ON ADJACENT PROPERTY (CONTINUOUS)
13. LANDSCAPE PARKING ISLAND MIN. 6' WIDE
14. 3' HIGH CMU SCREEN WALL TO MATCH BUILDING.
15. STABILIZED DG PATH / TRAIL MATCH ADJACENT PROPERTY DEVELOPMENT STANDARDS.
16. CONCRETE APRON.
17. EXISTING DRYWELL SEE CIVIL DRAWINGS
18. EXISTING FIRE HYDRANT
19. EXISTING 12" WATER LINE
20. EXISTING 16" WATER LINE
21. EXISTING CABLE TV
22. EXISTING STREET LIGHT
23. FUTURE PARKING LOT
24. MONUMENT SIGN, SEE DETAIL SHEET A1.1
25. EMERGENCY VEHICLE TURNING RADII 35' & 55'
26. BERM / LANDSCAPE PARKING SCREEN
27. FIRE DEPARTMENT CONNECTION

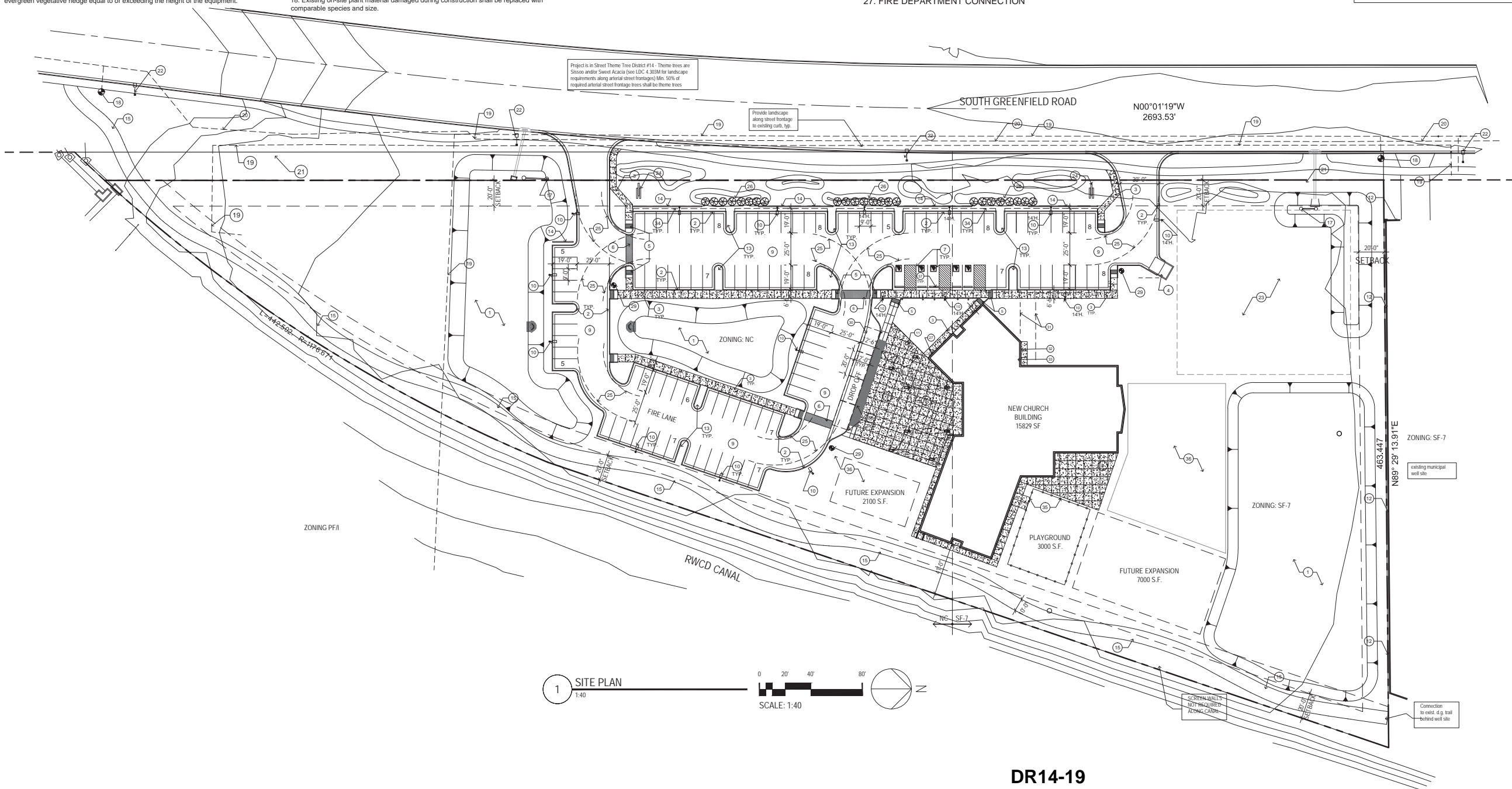
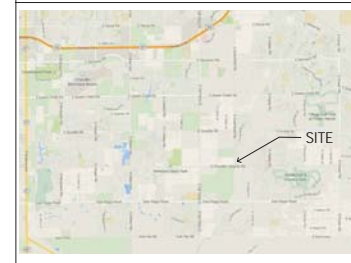
SITE PLAN KEYED CONTINUED

28. LANDSCAPED RETENTION AREA
29. NEW FIRE HYDRANT, SEE CIVIL DRAWINGS
30. PASSENGER LOADING AREAS 12'X20', TYP. OF 4
31. LINE INDICATING 12' CLEAR PATH TO SES PANEL
32. SES ELECTRICAL PANEL
33. FIRE RISER ROOM
34. LINE INDICATING 30" PARKING OVERHANG, TYP.
35. WROUGHT IRON PLAYGROUND / FENCE
36. TURF AREA, SEE LANDSCAPE PLAN
37. CONCRETE WHEEL STOPS, TYP. OF 7
38. LIGHT BOLLARD

VICINITY MAP



METRO MAP



GILLIAM
ARCHITECTURE, LLC

ARCHITECTURE
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**LIGHT OF
CHRIST
LUTHERAN
CHURCH**

**6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA**

DRB RESUBMITTALL: 7/14/14
DRB SUBMITTALL: 5/10/14

GA Project # GA14003.0

SITE PLAN

A1.0
Sheet Number

**DR14-19
Attachment 3: Site Plan
September 11, 2014**

Standard Fire Department Notes

General Fire Plan Submittals:

These notes are required to be on the commercial, industrial and multi-family plans for all submittals

Construction within the Town of Gilbert shall comply with the 2012 International Fire Code (IFC) as amended and adopted by fire code sub-sections 10-37-1, 10-37-2, and 2012 Fire Code Interpretations & Regulations

The applicant is responsible to identify and coordinate deferred submittals.

Plans and specifications for fire alarm systems, automatic fire extinguishing systems, and standpipes shall be submitted to the Permitting & Plan Review Department for review and approval prior to installation.

A Knox Box is required at every fire sprinkler riser room. When rapid access would be compromised by long travel distances, Knox Boxes shall be required at other locations at the discretion of the Fire Official. Refer to 2012 Fire Code Interpretations & Regulations 12-506.1 Key Boxes.

General Fire Department Access:

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved within Gilbert's jurisdiction.

The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. The route is to be measured around the building as the fire hose would be laid and shall be approved by the Fire Plans Examiner.

Apparatus access roads shall have a minimum unobstructed width of 20 feet (foc).

A minimum vertical clearance of 13'6" shall be provided for the apparatus access roads.

Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved means for turning the apparatus around. Fire apparatus turning radius is 35 feet inside and 55 feet outside (foc).

Fire lanes shall be marked by signs per TOG Detail #63 and/or curb painted red and labeled "FIRE LANE NO PARKING". Refer to 2012 Fire Code Interpretations & Regulations 12-D103.6 Fire Lanes.

- Fire apparatus access roads shall have a maximum grade of
- 0-6% grade ABC 6" 95% compaction
 - 6-10% grade concrete asphalt, 4" or more
 - Grades steeper than 10% shall be approved by the Fire Official.

Fire Hydrant Requirements:
The minimum number of fire hydrants shall not be less than required per Appendix C in the IFC. A fire hydrant shall be located within 150' of the fire department connection (FDC). The route is to be measured as the fire hose would be laid out and shall be approved by the Fire Plans Examiner.

A 3-foot clear space shall be maintained around the circumference of all fire hydrants

General Fire Sprinkler Requirements:

Plans and specifications for fire sprinkler systems exceeding 19 heads submitted for review shall be sealed by a qualified Arizona Registrant in fire sprinkler design. The installing contractor's name, address and phone number are to be included on the drawings and calculations submitted for review and approval. As-built drawings will be required where field changes are made to the designed drawings. When piping and/or sprinkler heads are added to initial sprinkler system installations, updated calculations will be required.

Fire sprinklers shall be installed in accordance with the current NFPA referenced standards and the Town of Gilbert sprinkler ordinance.

The fire sprinkler riser room shall comply with Town of Gilbert fire code amended Section 901.4.6.

Fire department inlet connections (FDC) shall be located on the address side or natural approach of the building it serves and shall identify the building(s) served with a permanent sign.

Fire hose threads and fittings used in connection with automatic sprinkler systems shall National Standard Thread.

Control valves and water flow switches for automatic sprinkler systems shall be electrically monitored where the number of sprinkler heads exceeds 19, IFC Section 903.4.

An exterior fire sprinkler system alarm bell shall be mounted above the fire riser room door.

General Fire Alarm Requirements:

Plans and specifications for fire alarm systems submitted for review shall be sealed by a qualified Arizona Registrant in fire alarm system design. The installing contractor's name, address and phone number are to be included on the drawings and calculations submitted for review and approval. As-built drawings will be required where field changes are made to the designed drawings. When additional wiring and devices are added to fire alarm systems, updated voltage drop and battery calculations will be required.

Fire Alarm Requirements for Non-separated Mixed Occupancies: Occupancies that depend on occupant load criteria to determine when a fire alarm system is required shall use the total building occupant load using the most restrictive occupancy classification and extend the fire alarm system to all occupied areas of that building in accordance with applicable code and standard. The fire alarm requirements shall be based on the most restrictive fire protection system requirement of IFC Chapter 9.

Alarm initiating devices, alarm signaling devices and other fire alarm system components shall be designed and installed in accordance with 2012 IFC and current NFPA referenced standards.

Duct smoke detectors that are concealed from view, installed more than 10 feet above finished floor or in arrangements where the detectors alarm indicator is not readily visible to responding personnel it shall have a visible and audible supervisory signaling device at the ceiling level or sight obstruction at each detector. Duct smoke detectors shall be connected to the building's fire alarm control unit when a fire alarm system is required.

Fire Safety During Construction:

An all-weather access road designed to support the imposed load of fire apparatus weighing up to 85,000 pounds shall be installed and maintained at all times. Sites shall have two points of access or as indicated at plan review or by the Fire Inspector. Unpaved surfaces shall have a minimum ABC 6" depth compaction to 95% and 20' wide. No vehicle parking or building material off-loading allowed on the emergency access road. Fire land signs are required to be posted along the road.

Signs shall be posted at each required street entrance indicating emergency vehicle entrance, the project name, the project address and an emergency contact number of a company representative.

The sign shall be a minimum of 24" high x 36" wide with white reflective background and 3" red reflective letters.

All site hydrants shall be installed and accepted by the Town Engineering Department prior to combustible materials being delivered to the construction site.

Temporary dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved means for turning the apparatus around.

Fire hydrants provided during construction shall be located along the fire apparatus access roadway.

Fire hydrants provided during construction shall be protected from vehicular damage.

Fire Department Requirements for Residential Development

Residential Development within the Town of Gilbert shall comply with the 2012 International Residential Code and International Fire Code as amended by the Town.

All residential developments are required to meet the amended 2012 IFC requirements of providing at least two separate and distinct access points. A single road with a divided median does not meet this requirement.

The Minimum number of fire hydrants shall not be less than required per 2012 IFC Appendix B & C. Fire hydrants shall be located along the route of the fire apparatus access roadway. Additional fire hydrants may be required for attached homes, cluster homes, and private streets.

A 3-foot clear space shall be maintained around the circumference of all fire hydrants.

A fire access road shall be provided when any portion of an exterior wall of the 1st story is located more than 150' from fire apparatus access measured by an approved route around the exterior of the building.

The route of the fire apparatus access road shall be approved by the Fire Plans Examiner. Apparatus access roads shall have a minimum unobstructed width of 20 feet (foc).

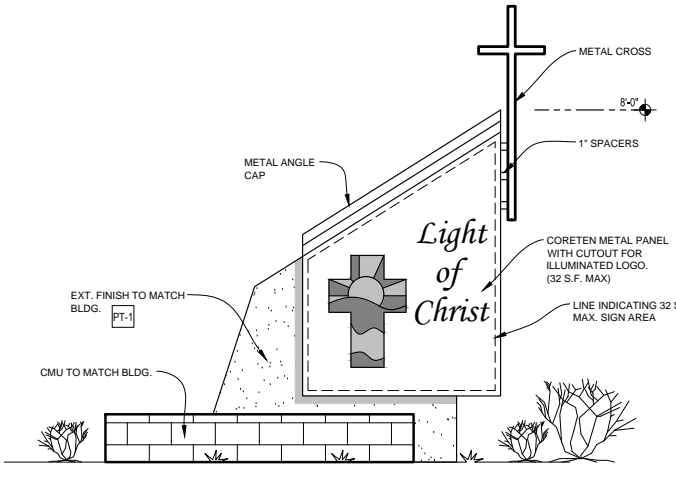
A minimum vertical clearance of 13 feet 6 inches shall be provided for the apparatus access roads.

Confirm fire apparatus minimum turning radius of 35 feet inside, and 55 feet outside (foc). All traffic calming devices, round-turns, traffic medians, etc, are required to meet this standard.

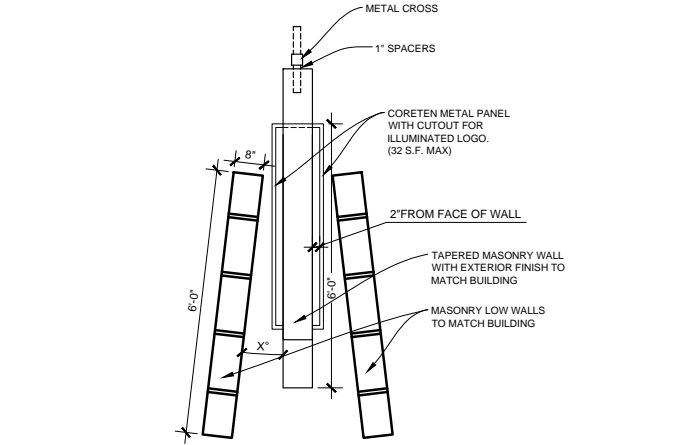
Cul-de-sac streets are required to meet the minimum design standard of Detail 41. Fire lanes shall be marked by signs per Fire Department Regulation 12-D103.6.

Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved means for turning the apparatus around. The turnaround must meet the fire apparatus minimum turning radius of 35 feet inside and 55 feet outside (foc). Any deviation from this standard must be approved by the fire code official.

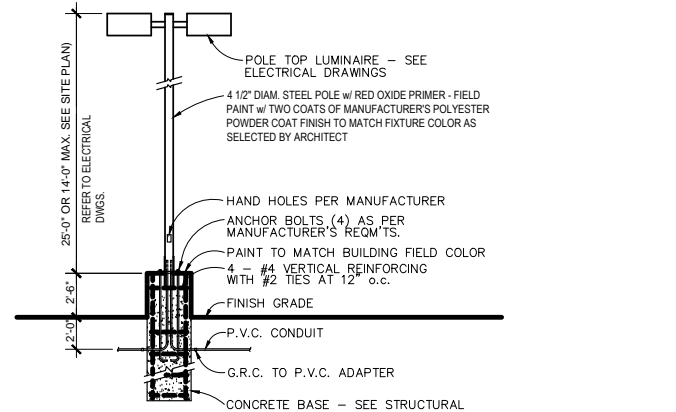
Street width for fire lane compliance shall meet the requirements of 2012 Fire Code Interpretations & Regulations 12-D103.6 Fire Lanes. Less than 26' (foc) will require "No Parking Both Sides"; 26' to less than 32' will require "No Parking One Side", 32' or greater, Parking Both Sides allowed. No street will be less than 20' wide (foc). All traffic calming devices, round-turns, traffic medians, etc, are required to meet the requirements of 2012 IFC Appendix D.



1 SITE FENCE ELEVATION
1/2" = 1' - 0"
02PN508

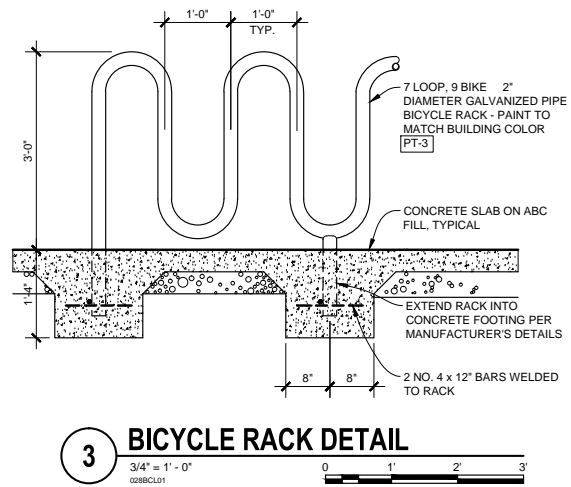


2 MASONRY WALL SECTION
1" = 1' - 0"
042WALMS



3 BICYCLE RACK DETAIL
3/4" = 1' - 0"
02B8CL01

4 MONUMENT SIGN
1/2" = 1' - 0"
02BLTF02



5 MONUMENT SIGN - PLAN
1/2" = 1' - 0"
02BLTF02

6 TYPICAL SITE LIGHT
1/2" = 1' - 0"
02BLTF02

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LIGHT OF CHRIST LUTHERAN CHURCH

6289 SOUTH GREENFIELD ROAD, GILBERT, ARIZONA

DRB RESUBMITTALL: 7/14/14
DRB SUBMITTALL: 5/10/14

GA Project # GA14003.0

SITE DETAILS

DR14-19
Attachment 4: Site Details
September 11, 2014

A1.1
Sheet Number

LANDSCAPE SCHEDULE:

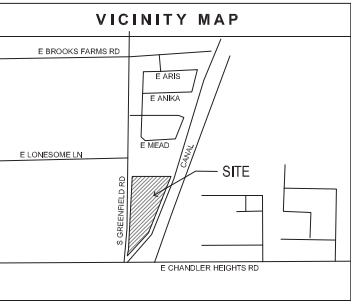
SYMBOL	SIZE	CALIPER SIZE (INCHES)	QTY	BOTANICAL NAME	COMMON NAME
TREES:					
	24" BOX	1.50	23	PISTACIA CHINENSIS 'RED PUSH'	CHINESE PISTACHIO
	24" BOX	1.25	53	DALBERGIA SISSOO	SISSOO TREE
	24" BOX	1.50	58	PARKINSONIA (CERCIDIUM) HYBRID	'DESERT MUSEUM' PALO VERDE
	24" BOX	1.50	23	QUERCUS VIRGINIANA 'HERITAGE'	HERITAGE EVERGREEN OAK
SHRUBS:					
	5 GALLON		137	LEUCOPHYLLUM LANGMANIAE	LANGMAN'S SAGE
	5 GALLON		159	HESPERALOE PARVIFLORA RED	RED YUCCA
	5 GALLON		147	DASYLIRION TEXANUM	GREEN DESERT SPOON, SOTOL
	5 GALLON		28	HESPERALOE FUNIFERA	GIANT HESPERALOE
	5 GALLON		18	SALVIA GREGGII	RED AUTOMN SAGE
GROUND COVER:					
	1 GALLON		VIF	LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA FULL COVERAGE 30"TRIANGULAR SPACING
	1 GALLON		VIF	ROSMARINUS OFFICINALIS 'PROSTRATUS'	ROSEMARY FULL COVERAGE 30"TRIANGULAR SPACING

LANDSCAPE REQUIREMENTS

APN: 304-77-007G
LEGAL: Section/Lot 22 Township/Block 2S Range/Tract 6E THAT PT SW4 SEC 22 LY W OF RWCD CANAL & DAF COM
SITE GROSS AREA: 6.5 AC
SITE NET AREA: 5.96 AC
LANDSCAPE PROVIDED:
OFF-SITE LANDSCAPE AREA : 25,700 SF
ON-SITE LANDSCAPE AREA: 180,097 SF
TOTAL LANDSCAPE AREA: 205,797 SF
PERCENT COVERED: 205,797/ 260,000 = 79%
REQ'D 15%
STREET FRONTAGE REQUIREMENTS:
TOTAL STREET FRONTAGE: 1,017 FT.
TREES REQUIRED: 1 PER 25FT = 41 TREES
TREES PROVIDED: 41
SHRUBS REQUIRED: 3 PER TREE = 123 SHRUBS
SHRUBS PROVIDED: 125
VEGETATIVE GROUND COVER PROVIDED FOR 25% OF STREET FRONT LANDSCAPE AREA.
PERIMETER LANDSCAPE AREA REQUIREMENTS:
SIDE (NON RESIDENTIAL): 10 FT. = 463 FT. X 10 FT. = 4,630 SF
TREES REQ'D: 3 PER 1,000 SF = 14 TREES
TREES PROVIDED: 14
SHRUBS REQ'D: 5 PER 1,000 SF = 23 SHRUBS
SHRUBS PROVIDED: 25
REAR (NON RESIDENTIAL): 15 FT. = 1,133 FT. X 15 FT. = 16,995 SF
TREES REQ'D: 3 PER 1,000 SF = 51 TREES
TREES PROVIDED: 51
SHRUBS REQ'D: 5 PER 1,000 SF = 85 SHRUBS
SHRUBS PROVIDED: 85
Project is in Street Theme Tree District #14 - Theme trees are Sissoo and/or Sweet Acacia (see LDC 4.303M for landscape requirements along arterial street frontages) Min. 50% of required arterial street frontage trees shall be theme trees

KEYED NOTES:

- 2" DEEP APPLICATION OF 3/4" MINUS 'MADISON GOLD' CRUSHED GRANITE
- SOD TURF AT SHADED AREA
- ARTIFICIAL TURF W/ SAFETY CUSHION AT PLAYGROUND
- STABILIZED GRANITE AT TRAIL



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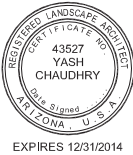
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LIGHT OF
CHRIST
LUTHERAN
CHURCH

6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA

Arcore
group, inc.
10201 s. 51st street, suite n-240, phoenix, az 85044
tel+ 480-704-7555 fax+ 480-704-7888



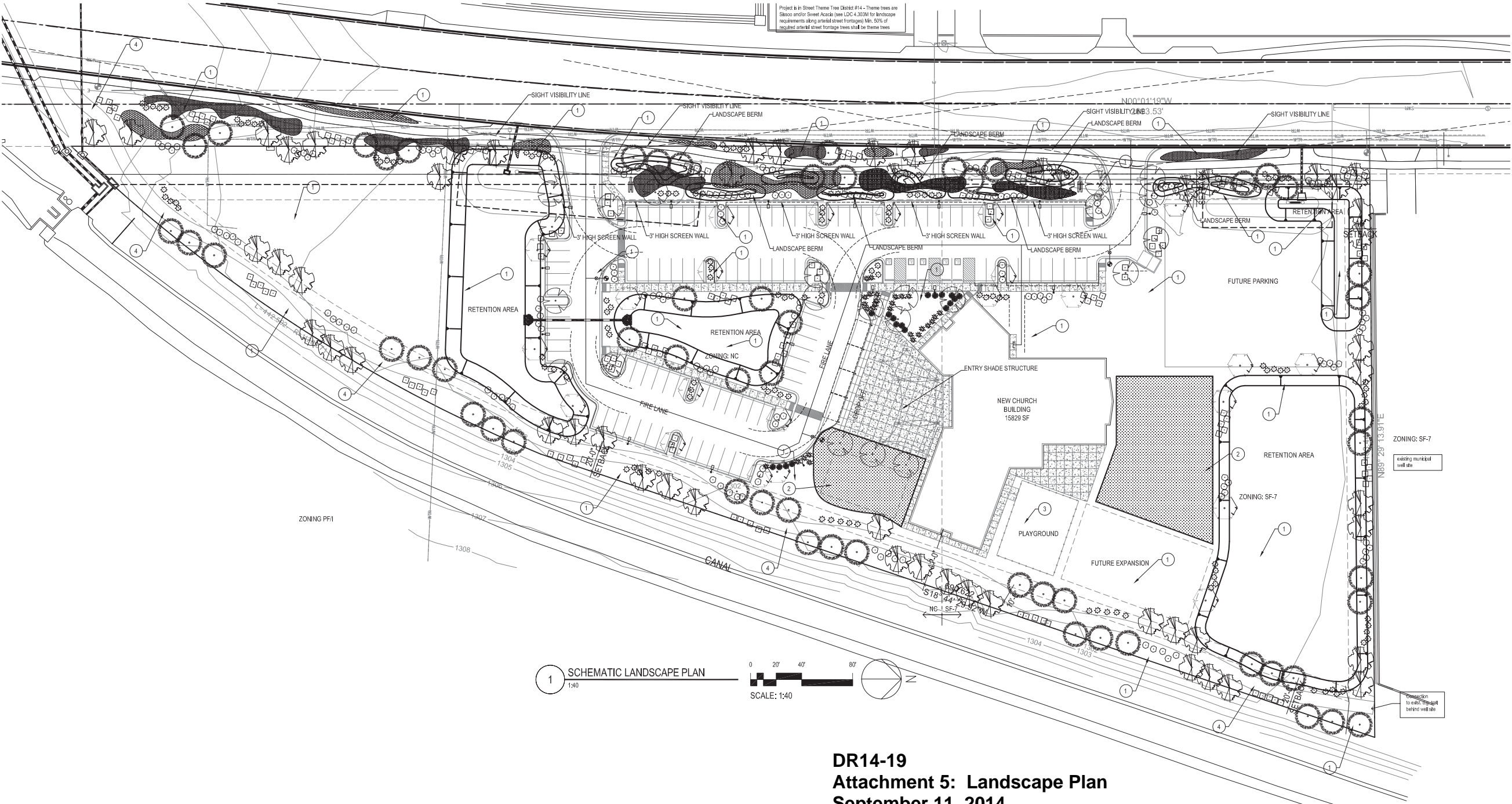
DRB RESUBMITTAL: 7/14/14
DRB SUBMITTAL: 5/10/14

GA Project # GA14003.0

SCHEMATIC
LANDSCAPE
PLAN

L1.0
Sheet Number

DR14-19
Attachment 5: Landscape Plan
September 11, 2014

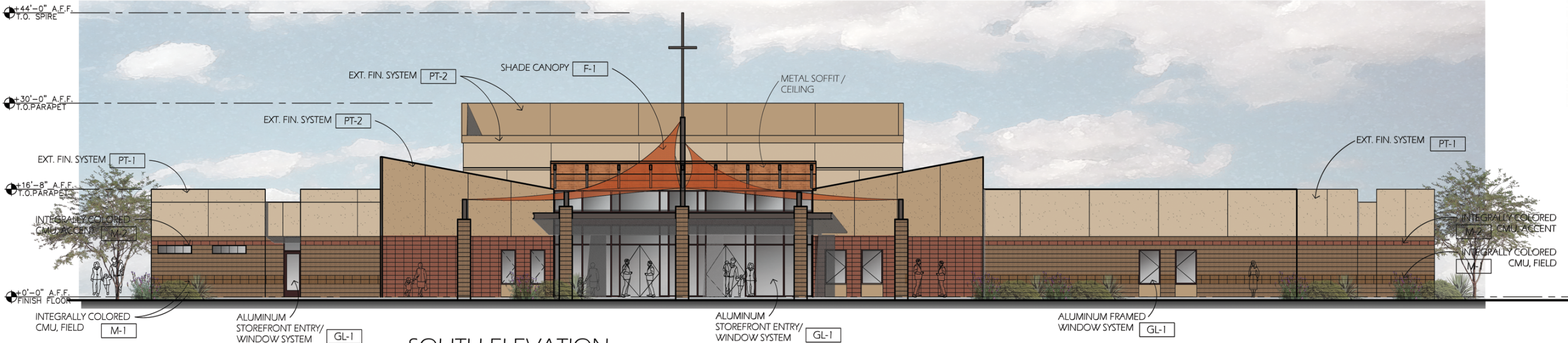


ELEVATION GENERAL NOTES

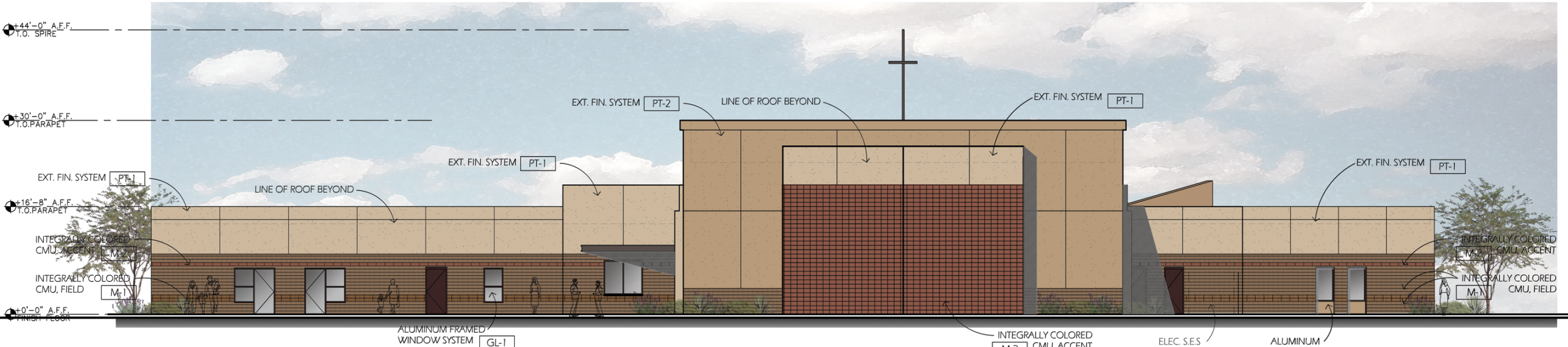
1. ALL BUILDING DRAINS ARE INTERNALIZED NO EXTERNAL DOWNSPOUTS.
2. ALL MECHANICAL EQUIPMENT IS FULLY SCREENED BEHIND PARAPET WALLS.

COLOR & MATERIAL LEGEND

- PT-1 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DE6143
"ALMOND LATTE"
PT-2 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DE6144
"GRAHAM CRACKER"
PT-3 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DEC756
"WEATHERED BROWN" - ACCENT
M-1 INTEGRALLY COLORED CMU OR STAIN TO MATCH "SUPERLITE"
"BURNT UMBER" - FIELD (SPLITFACE & SMOOTH FACE)
M-2 INTEGRALLY COLORED CMU OR STAIN TO MATCH "SUPERLITE"
"AUTUM" - ACCENT BAND
GL-1 DARK BRONZE ANODIZED ALUMINUM FRAMES WITH GRAY TINTED GLASS
F-1 SHADE CANOPY FABRIC "TERRACOTTA"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"

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**LIGHT OF
CHRIST
LUTHERAN
CHURCH**

**6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA**

DRB RE-SUBMITTALL: 7/14/14
DRB SUBMITTALL: 5/20/14

GA Project # GA14003.0

EXTERIOR ELEVATIONS

DR14-19
Attachment 6: Elevations (2 pages)
September 11, 2014

A3.1
Sheet Number

ELEVATION GENERAL NOTES

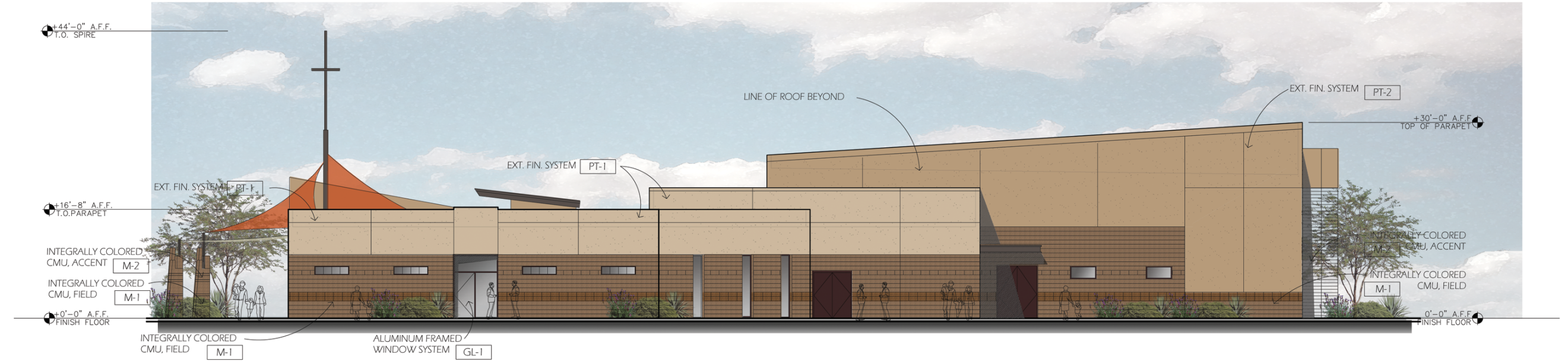
1. ALL BUILDING DRAINS ARE INTERNALIZED NO EXTERNAL DOWNSPOUTS.
2. ALL MECHANICAL EQUIPMENT IS FULLY SCREENED BEHIND PARAPET WALLS.

COLOR & MATERIAL LEGEND

- PT-1 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DE6143 "ALMOND LATTE"
PT-2 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DE6144 "GRAHAM CRACKER"
PT-3 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DEC756 "WEATHERED BROWN" - ACCENT
M-1 INTEGRALLY COLORED CMU OR STAIN TO MATCH 'SUPERLITE' 'BURNT UMBER' - FIELD (SPLITFACE & SMOOTH FACE)
M-2 INTEGRALLY COLORED CMU OR STAIN TO MATCH 'SUPERLITE' 'AUTUM' - ACCENT BAND
GL-1 DARK BRONZE ANODIZED ALUMINUM FRAMES WITH GRAY TINTED GLASS
F-1 SHADE CANOPY FABRIC 'TERRACOTTA'



WEST ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

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**LIGHT OF
CHRIST
LUTHERAN
CHURCH**

**6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA**

DRB RE-SUBMITTAL: 7/14/14
DRB SUBMITTAL: 5/10/14

GA Project # GA14003.0

EXTERIOR ELEVATIONS

A3.2
Sheet Number

1. ALL BUILDING DRAINS ARE INTERNALIZED NO EXTERNAL DOWNSPOUTS.
2. ALL MECHANICAL EQUIPMENT IS FULLY SCREENED BEHIND PARAPET WALLS.

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**6289 SOUTH
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GILBERT, ARIZONA**

DRB RE-SUBMITTALL: 7/14/14
DRB SUBMITTALL: 5/22/14

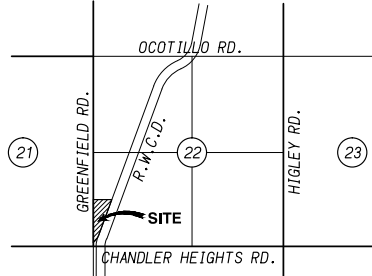
GA Project # GA14003.0

FLOOR PLAN

A2.0
Sheet Number

PRELIMINARY GRADING AND DRAINAGE PLANS

FOR
LIGHT OF CHRIST LUTHERAN CHURCH
6289 SOUTH GREENFIELD ROAD, GILBERT , ARIZONA 85298



VICINITY MAP
SECTION 22, T2S, R6E
NOT TO SCALE

BASIS OF BEARINGS

THE WEST LINE OF SOUTHWEST QUARTER OF SECTION 22, WHICH BEARS NORTH 00 DEGREES 01 MINUTES 19 SECONDS WEST.

BENCHMARK

THE SITE ELEVATION IS BASED ON THE MARICOPA COUNTY BENCHMARK, BRASS CAP IN A HAND HOLE LOCATED AT THE INTERSECTION OF CHANDLER HEIGHTS ROAD AND GREENFIELD ROAD MONUMENT LINE. ELEVATION = 1309.52

FLOOD ZONE

THIS SITE IS LOCATED WITHIN ZONE X AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP (FIRM) 04013C3150L, PANEL 3150 OF 4425, DATED OCTOBER 16, 2013. FLOOD ZONE X IS DEFINED AS:

ZONES B, C, AND X ARE THE FLOOD INSURANCE RATE ZONES THAT CORRESPOND TO THE AREAS OUTSIDE THE 100-YEAR FLOODPLAINS, AREAS OF 100-YEAR SHEET FLOW FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 100-YEAR STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREAS IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 100-YEAR FLOOD BY LEVEES. NO BFE'S OR DEPTHS ARE SHOWN WITHIN THIS ZONE.

SITE LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING WEST OF THE ROOSEVELT WATER CONSERVATION DISTRICT CANAL AS CONVEYED IN BOOK 189 OF DEEDS, PAGE 360, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 22;

THENCE NORTH 00 DEGREES 01 MINUTES 19 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 1152.48 FEET;

THENCE NORTH 89 DEGREES 29 MINUTES 14 SECONDS EAST, 55.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89 DEGREES 29 MINUTES 14 SECONDS EAST, 441.45 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF THE ROOSEVELT WATER CONSERVATION DISTRICT CANAL (RWCD);

THENCE SOUTH 18 DEGREES 44 MINUTES 30 SECONDS WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 690.62 FEET TO A POINT ON A 1176.67 FOOT RADIUS NON-TANGENT CURVE, CONCAVE TO THE NORTHWEST, A RADIAL FROM SAID POINT BEARS NORTH 67 DEGREES 31 MINUTES 54 SECONDS WEST;

THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19 DEGREES 58 MINUTES 59 SECONDS, AN ARC LENGTH OF 410.40 FEET TO A POINT THAT IS 55.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22;

THENCE LEAVING SAID RWCD RIGHT-OF-WAY AND CONTINUING ON A LINE THAT IS PARALLEL TO AND 55.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, NORTH 00 DEGREES 01 MINUTES 19 SECONDS WEST, 994.58 FEET TO THE POINT OF BEGINNING.

EXCEPT ANY PORTION THEREOF LYING WITHIN ROADWAY AS SET FORTH IN "FREEMAN FARMS MAP OF DEDICATION, S. GREENFIELD ROAD AND E. OCOTILLO ROAD" RECORDED IN BOOK 797 OF MAPS, PAGE 35.

SAID PARCEL CONTAINS 257,821.82 SQUARE FEET OR 5.9188 ACRES, MORE OR LESS.

DRAINAGE STATEMENT

THE SITE IS VACANT LOT LOCATED AT THE NORTHEAST CORNER OF GREENFIELD ROAD AND CHANDLER HEIGHTS ROAD IN GILBERT, ARIZONA. THERE ARE TWO EXISTING BASINS ON SITE RETAINING HALF STREET OFFSITE FLOW FROM GREENFIELD ROAD. A MORE DETAIL DRAINAGE ANALYSIS WILL BE PERFORM IN SUBSEQUENT SUBMITTALS.

THIS SITE IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.

- HALF STREET GREENFIELD ROAD OFFSITE FLOWS AFFECT THE SITE.
- RETENTION WILL BE PROVIDED FOR THE 50-YR 24-HR EVENT.

DRAINAGE CALCULATION

PROVIDE RETENTION FOR 50-YR 24-HR STORM

VOLUME REQUIRED = C(P/12) * A

WHERE:

C = 0.82 (ONSITE)

C = 0.90 (GREENFIELD ROAD)

P = 3" (TOWN OF GILBERT)

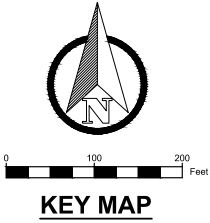
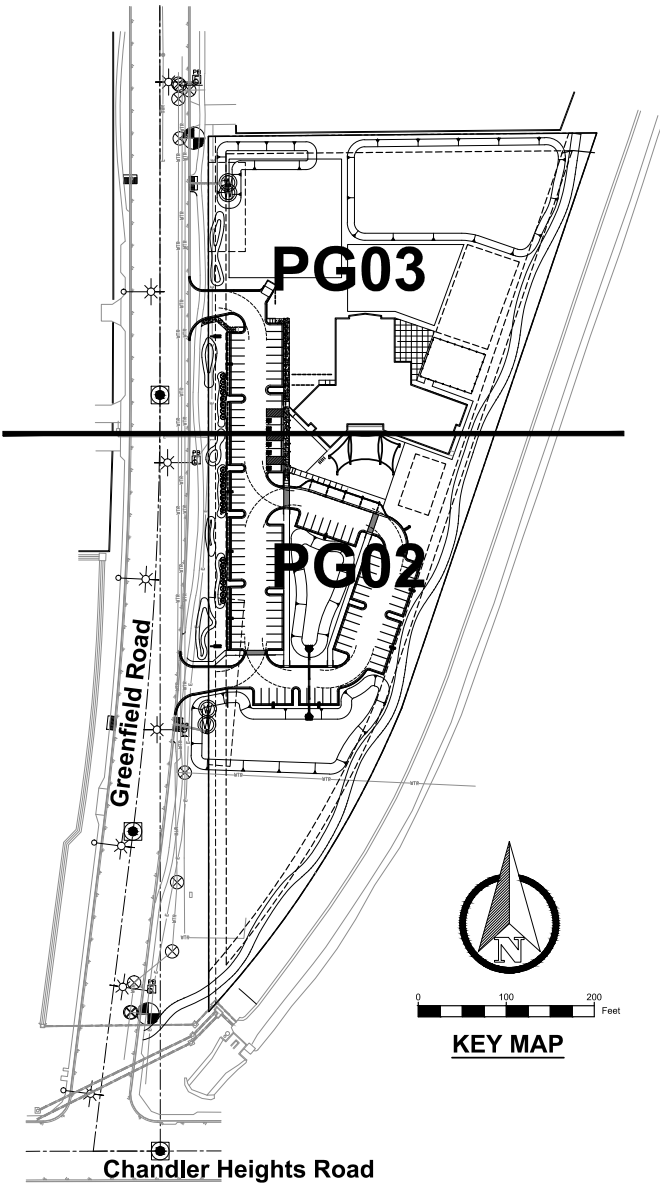
A = DRAINAGE AREA IN SQUARE FEET

RETENTION BASIN CALCULATION					
DRAINAGE AREA	RETENTION BASIN I.D.	AREA (S.F.)	"C" COEFFICIENT	VOLUME REQUIRED	VOLUME PROVIDED* (CF)
A	A + A1	32,297	0.90	7,267	48,152
B	B	10,432	0.90	2,347	8,450
C	B	29,443	0.82	6,036	8,450
D	C	68,350	0.62	10,594	11,028
E	A + A1	193,855	0.82	39,740	48,152
TOTALS				65,984	76,080

(*) VOLUME PROVIDED SHOW IS THE TOTAL CAPACITY OF THE RETENTION BASIN

SITE INFORMATION

ANP: 304-77-007G
SITE AREA: 257,819.99 SQ.FT.
5.9187 AC.



LEGEND

- Found Monument as Notes
- Found Brass Cap Flush
- Found Brass Cap in Hand Hole
- Set 1/2" Rebar
- Electric Manhole
- Utility Pole
- Guy Anchor
- Electric Meter
- Electric Junction Box
- Electric Vault
- Electric Transformer
- Electric Pull Box
- Light Pole w/Arm
- Electric Panel
- Electric Cabinet
- Light Pole
- Traffic Control Box
- Sign
- Fiber Optic Manhole
- Fiber Optic Marker
- Cable TV Pedestal
- Curb Inlet
- Catch Basin
- Storm Drain Manhole
- Fire Department Connection
- Fire Hydrant
- Air Release Valve
- Water Valve
- Water Manhole
- Water Meter
- Water Back Flow Preventer
- Water Stub Out
- Water Blow Off
- Drywell
- Sewer Clean Out

- Sewer Manhole
- Barricade
- Property Line
- Roadway Center Line
- Right-of-Way (ROW)
- Easement Line (PUE, Esmnt.)
- Breakline
- Fence
- Chain Link Fence
- Barbed Wire Fence
- OHE Overhead Electric Line
- FO Fiber Optic Line
- GAS Gas Line
- WTR Water Line
- SWR Sewer Line
- UGE Underground Electric Line
- CATV Cable TV Line
- TEL Telephone Line
- Stormdrain Pipe
- New Asphalt
- Concrete
- Blockwall
- Existing Asphalt
- Traffic Control Light
- Tree
- (R) Record
- (M) Measured
- PVC Polyvinyl Chloride Conduit
- RCP Reinforced Concrete Pipe
- CMP Corrugated Metal Pipe
- M.C.R. Maricopa County Recorder
- R.L.S. Registered Land Surveyor
- APN Assessor Parcel Number
- POB Point of Beginning
- POC Point of Commencing

PLAN INDEX

COVER SHEET..... PG01
NOTES & DETAILS..... PG02
IMPROVEMENT PLANS..... PG03

CIVIL ENGINEER

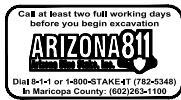
XCL ENGINEERING, L.L.C.
3115 S. PRICE ROAD, SUITE 121
CHANDLER, AZ 85248
CONTACT: OMAR CERVANTES, P.E.
PHONE: (480)275-2711
EMAIL: ocervantes@xclengineering.com

ARCHITECT

GILLIAM ARCHITECTURE
15852 S. 18TH LANE,
PHOENIX, AZ 85045
CONTACT: RANDY GILLIAM, RA, NCARB
PHONE: (480)236-1228
EMAIL: rgilliam@gilliamarchitecture.com

OWNER / DEVELOPER

FIRST UNITED FUNDING, LLC
C/O LIGHTHOUSE MANAGEMENT GROUP, INC
2091 COUNTY ROAD D EAST, SUITE C-100
PHOENIX, AZ 85012
CONTACT: JOSE SANABRIA
PHONE: (602)226-0225



THIS SET OF CONSTRUCTION PLANS HAS BEEN SUBMITTED TO THE FOLLOWING UTILITY COMPANIES FOR REVIEW AND TO DETERMINE ANY POTENTIAL CONFLICTS.

UTILITY COMPANY	COMPANY CONTACT	DATE SUBMITTED
SALT RIVER PROJECT (POWER)	RICH SEMINARA	
ARIZONA PUBLIC SERVICE	N/A	
QWEST COMMUNICATIONS	CHRIS LERTIQUE	
COX COMMUNICATIONS	SCOTT GUSSO	
SOUTHWEST GAS	FRANCHISE DEPT.	
KINDER MORGAN ENERGY PARTNERS	N/A	
AT&T TELEPHONE LONG DISTANCE	N/A	

PRELIMINARY GRADING & DRAINAGE

LIGHT OF CHRIST LUTHERAN CHURCH

6289 SOUTH GREENFIELD ROAD
GILBERT, ARIZONA 85298

TITLE:

PROJECT:

PROJ. No. : 14-0028

SCALE: AS SHOWN

DESCRIPTION

DATE: 07/11/2014

REV

DRAWING No.

SHEET

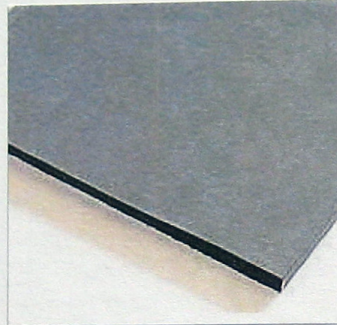
1 OF 3

PG01



LIGHT OF CHRIST LUTHERAN CHURCH 6289 S. GREENFIELD RD. Gilbert, az

GL-1 DARK BRONZE ANODIZED ALUMINUM FRAMES WITH GRAY TINTED GLASS



PT-1 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DE6143 "ALMOND LATTE"



AUTUMN SMOOTH



UMBER BROWN SMOOTH



UMBER BROWN

F-1 SHADE CANOPY FABRIC 'TERRACOTTA'



PT-2 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DE6144 "GRAHAM CRACKER"



PT-3 PAINT COLOR TO MATCH DUNN EDWARDS PAINT DEC756 "WEATHERED BROWN" - ACCENT

M-1 INTEGRALLY COLORED CMU OR STAIN TO MATCH 'SUPERLITE' "BURNT UMBER" - FIELD (SPLITFACE & SMOOTH FACE)

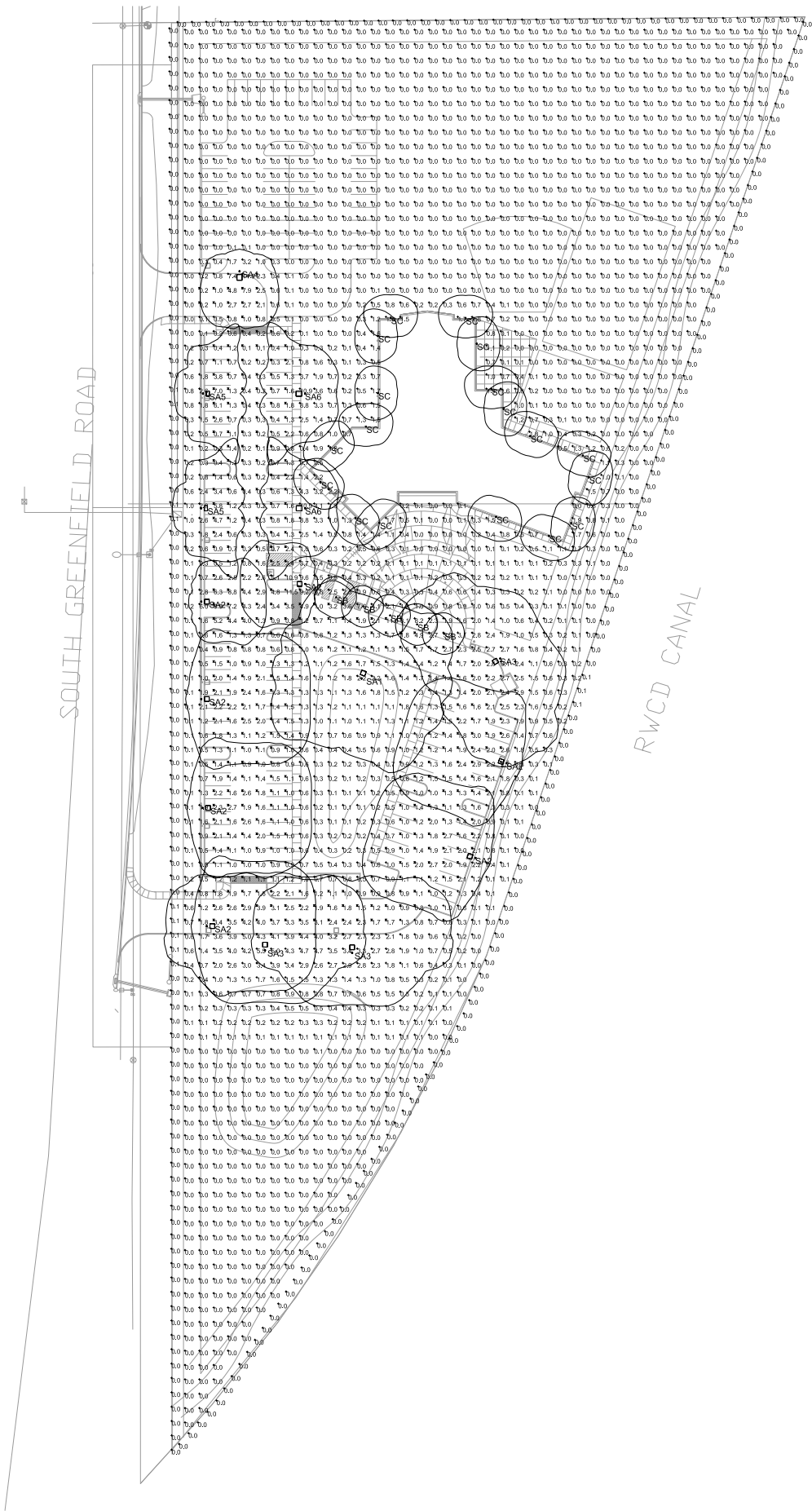
M-2 INTEGRALLY COLORED CMU OR STAIN TO MATCH 'SUPERLITE' "AUTUM" - ACCENT BAND

GILLIAM ARCHITECTURE
ARCHITECTURE + PLANNING + INTERIORS + ILLUSTRATION

15852 S. 18TH LN. PHOENIX, ARIZONA 85045 T 480.236.1228 W WWW.GILLIAMARCHITECTURE.COM


5/22/14

DR14-19
Attachment 9: Color Board
September 11, 2014











1 SITE LIGHTING PHOTOMETRIC CALCULATIONS
SCALE: 1" = 50'-0"

DR14-19
Attachment 10: Lighting Plans (3 pages)
September 11, 2014



LUMINOUS DESIGN CONCEPTS, LLC
INTERIOR & EXTERIOR LIGHTING DESIGN/CONSULTING
1027 E. Washington Street, Suite 107
Phoenix, Arizona 85004
PH: 602.448.0022 FAX: 602.448.0084
EMAIL: info@lumdesignconcepts.com
Website: www.lumdesignconcepts.com

9311 E. VIA DE VENTURA
SCOTTSDALE, AZ 85258
P 480-362-4481 F 480-452-0122
www.neptunedg.com

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	SA1	1	CR1-P25-H5-F-Q-DB SSS.22.5' WITH 2.5' BASE	AREA ARCHITECTURAL REF: SPECULAR SEGMENT ALUM ENCL: CLEAR, FLAT GLASS MOUNTED AT 25' OVERALL	One 250 Watt ED-28 Pulse Start Metal Halide	cr1_p17_h5p.ies	22000	0.72	291
	SA2	7	SPAULDING CR1-P25-H4P-F-Q-DB SSS.22.5' WITH 2.5' BASE	AREA ARCHITECTURAL REF: SPECULAR SEGMENT ALUM ENCL: CLEAR, FLAT GLASS MOUNTED AT 25' OVERALL	One 250 Watt ED-28 Pulse Metal Halide	cr1_p32_h4p.ies	22000	0.72	291
	SA3	3	SPAULDING CR1-P25-H3P-F-Q-DB SSS.22.5' WITH 2.5' BASE	AREA ARCHITECTURAL REF: SPECULAR SEGMENT ALUM ENCL: CLEAR, FLAT GLASS MOUNTED AT 25' OVERALL	One 250 Watt ED-28 Pulse Metal Halide	cr1_p35_h3p.ies	22000	0.72	291
	SA4	1	SPAULDING CR1-P25-H3P-F-Q-DB SSS. 9.5' WITH 2.5' BASE	CMARRON RECTANGULAR AREA LIGHT TYPE IV REFLECTOR CLEAR FLAT LENS MOUNTED AT 12'	150W CLEAR ED-28 PULSE START METAL HALIDE, HORIZONTAL POSITION	cr1-p15-h4.ies	12600	0.72	189
	SA5	2	SPAULDING CR1-P15-H3P-F-Q-DB SSS. 9.5' WITH 2.5' BASE	CMARRON RECTANGULAR AREA LIGHT TYPE III REFLECTOR CLEAR FLAT LENS, INTERNAL HOUSE SHIELD MOUNTED AT 12'	150W CLEAR ED-28 PULSE START METAL HALIDE, HORIZONTAL POSITION	cr1-p15-h3-hs.ies	12600	0.72	189
	SA6	2	SPAULDING CR1-P15-H3P-F-Q-DB SSS. 9.5' WITH 2.5' BASE	CMARRON RECTANGULAR AREA LIGHT TYPE III REFLECTOR CLEAR FLAT LENS MOUNTED AT 12'	150W CLEAR ED-28 PULSE START METAL HALIDE, HORIZONTAL POSITION	cr1-p15-h3.ies	12600	0.72	189
	SB	5	SPAULDING FN1-P70-D0-Q-DB-HS90	36" SQUARE BOLLARD w/ Clear Acrylic Lens	One 70 Watt ED-17 Pulse Metal Halide	fn1_f42_do_u.ies	5500	0.72	70
	SC	18	ECLIPSE M-1032-120-62-6L-61	WALL SCONCE WITH BARE METAL INTERIOR AND CLEAR FLAT GLASS LENS	One 32 Watt CFL	T23171.IES	2400	0.75	32

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
property line at 5'	+	0.0 fc	0.1 fc	0.0 fc	N / A	N / A
site	+	0.6 fc	14.5 fc	0.0 fc	N / A	N / A
Stat Zone # 1	⌵	1.7 fc	11.0 fc	0.0 fc	N / A	N / A

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**LIGHT OF
CHRIST
LUTHERAN
CHURCH**

**6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA**

DRB SUBMITTALL: 5/10/14

GA Project # GA14003.0

SITE LIGHTING
PHOTOMETRICS
CALCULATIONS

SL1
Sheet Number



LIGHT OF CHRIST LUTHERAN CHURCH

**6289 SOUTH
GREENFIELD ROAD,
GILBERT, ARIZONA**

DRB SUBMITTALL: 5/10/14

GA Project # GA14003.0



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SL2

Sheet Number

CIMARRON SERIES	Cat.#		Type	SA3	SPAUHLING LIGHTING
	Job				
APPLICATIONS <ul style="list-style-type: none">Area and site lighting. FEATURES <ul style="list-style-type: none">Complements 'Southwest Series'IES Type II, III, V (square) and forward throw light distributionsFlat lens designElectronic ballast for 150w, 250w, 350w and 400w PSMM with 0-10V dimming capability (control system by others). Ballast programmed for automatic dimming also available (consult factory).100w to 400w lamps in HPS, and Pulse Start MH for design flexibilityAll distributions are field-rotatableMounts on upswep, straight arms for poles or on wall bracket for a uniform project look5 standard, 2 premium, and custom colors are available LISTINGS/CERTIFICATIONS <ul style="list-style-type: none">Title 20 compliantUL 1598 listed and CSA certified for outdoor use in wet locationsU.S. Patent No. D556,935IDA fixture seal of approval EPA = 1.2 fF (single unit with arm)					

CR1	-	A	-	E25	-	H3P	-	F	-	Q	-	DB	-	
SERIES		SOURCE/WATTAGE			LAMP ORIENT./DISTR.		LENS		COLOR		OPTIONS			
CR1	Cimarron	ELECTRONIC PULSE START METAL HALIDE												
		E15 150w (E3-28 Mag base)			H2 Horiz. II - hydroformed		F Flat		DB Dark Bronze		WBAD Substitutions: decorative upswep arm when WS wall bracket mounting is chosen			
		E25 250w (E3-28 Mag base)			H3P Horiz. II - High Performance Series (segmented)				BL Black					
		E35 350w (E3-28 Mag base)			H4 Horiz. II - multi-piece				WH White		RP22 Round pole adapter (2 3/4-3 1/4")			
		E40 400w (E3-28 Mag base)			H4P Horiz. II - High Performance Series (segmented)				GR Gray		RPA4 Round pole adapter (3 1/4-3 1/4")			
A	Arm mount construction (6" straight right arm included is acceptable for 18" configurations)	PULSE START METAL HALIDE												
		P10 100w (E3-17 Med base)			H5 HVZ. II (segment) - hydroformed				PS Platinum Silver		RPA6 Round pole adapter (6")			
		P15 150w (E3-18 Med base)			H5P HVZ. II - High Performance Series (segmented)				RD Red (chromium color)		RPA8 Round pole adapter (8")			
		P17 17w (E3-28 Mag base)							FG Forest Green (chromium color)		FQX Fixing bracket X with voltage: 1-120, 2-208, 3-208, 4-277, 5-400, 6-347			
		P20 20w (E3-15 Med base)							CG Castan Color (chromium lacquer)		PRQ Photo ballast in place X with voltage: 1-120, 2-208, 3-208, 4-277, 5-400, 6-347			
AD	Decorative arm mount cast. (6" decorative upswep arm incl. & acceptable for 90° configurations)	P25 250w (E3-28 Mag base)												
		P32 320w (E3-28 Mag base)												
		P35 350w (E3-28 Mag base)												
		P40 400w (E3-28 Mag base)												
		HPS HIGH PRESSURE SODIUM												
WS	Wall bracket cast. (6" straight arm wall bracket only or wall bracket when they are ordered as an accessory)	S10 100w (E3-23.5 Mag base)												
		S15 150w (E3-23.5 Mag base)												
		S25 250w (E3-18 Mag base)												
		S40 400w (E3-18 Mag base)												
		HPS HIGH PRESSURE SODIUM												
O	No arm or wall bracket only or wall bracket when they are ordered as an accessory	VOLTAGE												
		Q1 Quad Tap® 120/208/240/277V												
		V1 Five Tap 120/208/240/277/480V (250 & 400w PSMM & HPS only)												
		V2 480V												
		V3 3- Tap® 120/277/247V												
E 50w, 220/240V (250 & 400w PSMM & HPS only)														
O No Ballast														
EASY ORDER FIXTURE AND POLE COMBINATIONS														
Catalog Number Description														
CR1C-1-P40-H3-28 200' 250w P40, Type II														
CR1C-1-P40-H3-28 200' 400w P40, Type II														
CR1C-1-P40-H3-28 250' 400w P40, Type II														
CR1C-1-P40-H4-28 200' 400w P40, Type II														
CR1C-1-P40-H4-28 250' 400w P40, Type II														
CR1C-2-P40-H3-28 200' 250w P40, Type II														
CR1C-2-P40-H3-28 200' 400w P40, Type II														
CR1C-2-P40-H3-28 250' 400w P40, Type II														
CR1C-2-P40-H4-28 200' 400w P40, Type II														
CR1C-2-P40-H4-28 250' 400w P40, Type II														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
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CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
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CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
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CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28 250' 400w P40, Type IV														
CR1C-2-P40-H4-28														

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CIMARRON SERIES	Cat.#		Type	SA2	SPAUHLING LIGHTING Approvals
	Job				

APPLICATIONS

- Area and site lighting.

FEATURES

- Complements "Southwest Series"
- IES Type I, II, V (square) and forward throw light distributions
- Flat lens design
- Electronic ballast for 150w, 250w, 350w and 400w PSMM with 0-10V dimming capability (control system by others). Ballast programmed for automatic dimming also available (consult factory).
- 100w to 400w lamps in HPS, and Pulse Start MH for design flexibility
- All distributions are field-rotatable
- Mounts on upswep, straight arms for poles or on wall bracket for a uniform project look
- 5 standard, 2 premium, and custom colors are available

LISTINGS/CERTIFICATIONS

- Title 20 compliant
- UL 1598 listed and CSA certified for outdoor use in wet locations
- U.S. Patent No. D556,935
- IDA fixture seal of approval **EPA = 1.2 fF** (single unit with arm)

ORDERING INFORMATION

ORDERING EXAMPLE: CR1-A-P40-H3P-F-Q-DB-L

SELECT UNITS ARE STOCKED FOR IMMEDIATE SHIPMENT.

CR1	-	A	-	E25	-	H4P	-	F	-	Q	-	DB	-		
SERIES		SOURCE/WATTAGE			LAMP ORIENT./DISTR.		LENS		COLOR		OPTIONS				
CR1	Cimarron	ELECTRONIC PULSE START METAL HALIDE E15 150w (E3-28 Mag base) E25 250w (E3-28 Mag base) E35 350w (E3-28 Mag base) E40 400w (E3-28 Mag base)			H2 Horiz. II - hydroformed H3 Horiz. II - hydroformed H3P Horiz. II - High Performance Series (segmented) H4 Horiz. II - multi-piece H4P Horiz. II - High Performance Series (segmented)		F Flat F Flat		DB Dark Bronze WH White GR Gray PS Platinum Silver RD Red (chromium color) FG Forest Green (chromium color) CG Castan Color (chromium lacquer) PRQ Phlo HPS HIGH PRESSURE SODIUM S10 100w (E3-23.5 Mag base) S15 150w (E3-23.5 Mag base) S25 250w (E3-18 Mag base) S40 400w (E3-18 Mag base)		Substitutions: decorative upswep arm when WS wall bracket mounting is chosen RP22 Round pole adapter (2 3/4-3 1/4") RPA4 Round pole adapter (3 1/4-3 1/4") RPA6 Round pole adapter (3 7/8-4 1/2") RPA8 Round pole adapter (6") FQX Fixing bracket X with voltage: 1-120, 2-208, 3-208, 4-277, 5-400, 6-347 P15 Photo ballast in place X with voltage: 1-120, 2-208, 3-208, 4-277, 5-400, 6-347 P17 17w (E3-28 Mag base) P20 20w (1-15 Mag base) P25 250w (E3-28 Mag base) P32 320w (E3-28 Mag base) P35 350w (E3- Mag base) P40 400w (E3-28 Mag base) HPS HIGH PRESSURE SODIUM S10 100w (E3-23.5 Mag base) S15 150w (E3-23.5 Mag base) S25 250w (E3-18 Mag base) S40 400w (E3-18 Mag base)				
	MOUNTING A Arm mount construction 6" straight right arm included is acceptable for 18" configurations AD Decorative arm mount cast. 6" decorative upswep arm incl. & acceptable for 90° configurations WS Wall bracket cast. 6" straight arm wall bracket only or wall bracket when they are ordered as an accessory O No arm or wall bracket only or wall bracket when they are ordered as an accessory														
	VOLTAGE Q1 Quad Tap® 120/208/240/277V V1 Five Tap 120/208/240/277/480V (250 & 400w PSMM & HPS only) V2 480V V3 3- Tap® 120/277/247V E 50w, 220/240V (250 & 400w PSMM & HPS only) O No Ballast														
	EASY ORDER FIXTURE AND POLE COMBINATIONS Catalog Number Description CR1C-1-P40-H3-28 200' 250w P40, Type II CR1C-1-P40-H3-28 200' 400w P40, Type II CR1C-1-P40-H3-28 250' 400w P40, Type II CR1C-1-P40-H4-28 200' 400w P40, Type II CR1C-1-P40-H4-28 250' 400w P40, Type II CR1C-2-P40-H3-28 200' 250w P40, Type II CR1C-2-P40-H3-28 200' 400w P40, Type II CR1C-2-P40-H3-28 250' 400w P40, Type II CR1C-2-P40-H4-28 200' 400w P40, Type II CR1C-2-P40-H4-28 250' 400w P40, Type II														
	NOTE: All poles to be drilled with 1/2" pole size														

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CIMARRON SERIES		Cat.#	Job	Type	SPAUHLING LIGHTING
				SA1	Approvals

